

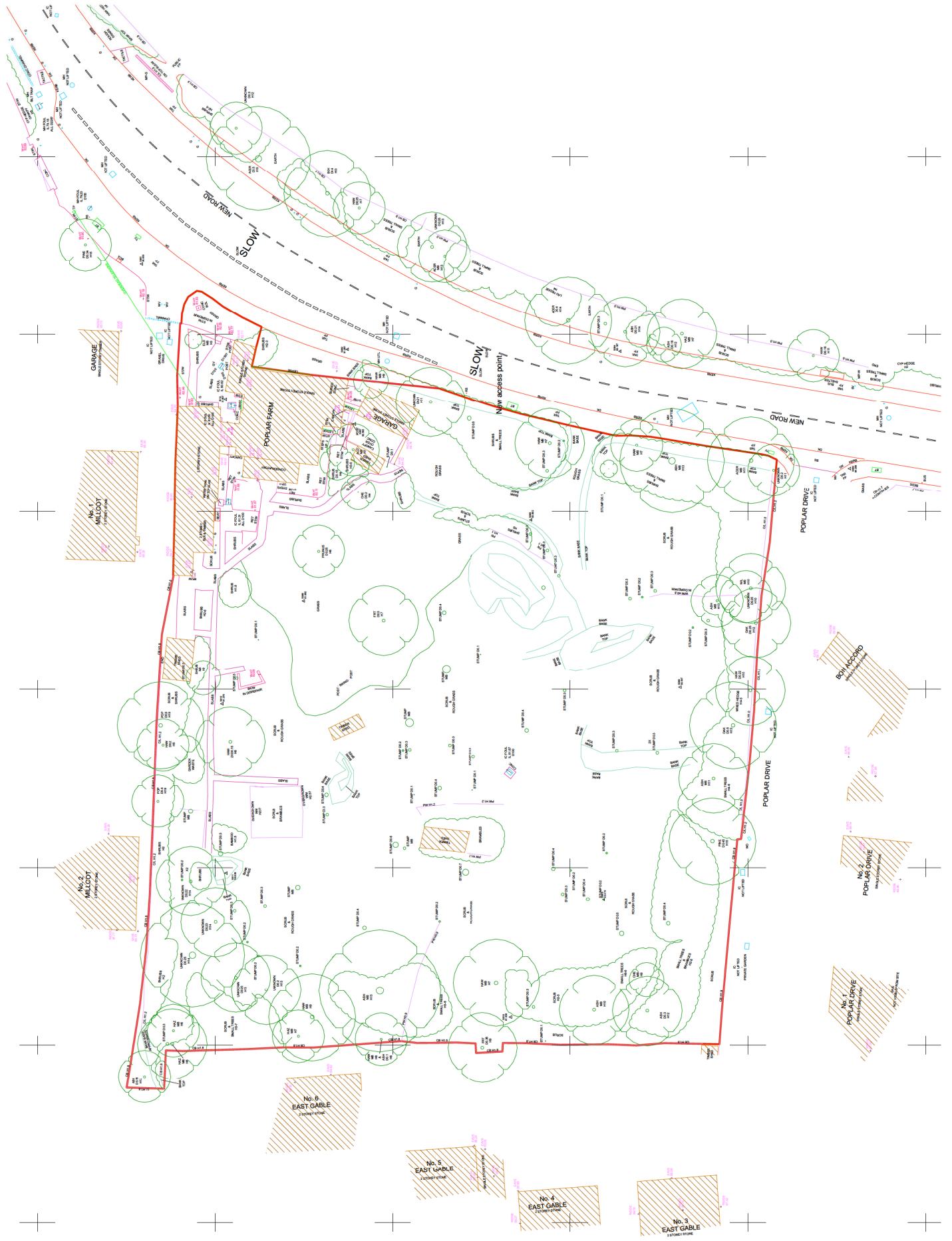
Location Plan

PL 06/08/2023: Rev 1 (1st Amendment)_JH
PL 16/07/2024: Planning Issues_RN
Revised:RN

PROPOSED DEVELOPMENT: NEW ROAD, WOODMARCOTE
Location Plan - Poplar Farm

DATE	REVISION	BY
20/09/2021	PL	PLANNING
15/07/2024	Rev 1	RN
16/07/2024	Rev 2	RN





PL 16/07/2021, Planning Issue, PN
Preliminary

PROPOSED DEVELOPMENT, NEW ROAD, WOODMACKOTE
Existing Site Plan

NO.	DATE	ISSUE
01	16/07/2021	PLANNING
02	16/07/2021	PN

Scale: 1:500
Date: 16/07/2021
Author: BPN Architects
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Revised: 10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7
10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7
10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7
10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7
10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7
10/11/2017, Approved Planning Issue, Planning Agreement, more planting, plots 6, 7

PROPOSED DEVELOPMENT, NEW ROAD, WOODINVILLE

Proposed Site Plan

DATE	DESCRIPTION	BY
10/11/2017	PLANNING	PN
10/11/2017	PLANNING	PN
10/11/2017	PLANNING	PN
10/11/2017	PLANNING	PN



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PL 16.07.2021, Plymouth Mass., BN
 Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMACKETE
 Poplar Farm - Existing Ground floor

DATE: 16.07.2021
 DRAWING: PL
 PROJECT: 2489.0.20
 SCALE: 1:50
 SHEET: 01 OF 02

BPN ARCHITECTS

10m
 0 1 2 3 4 5

1 New Street, Bournemouth BH1 1LD
 01203 781111
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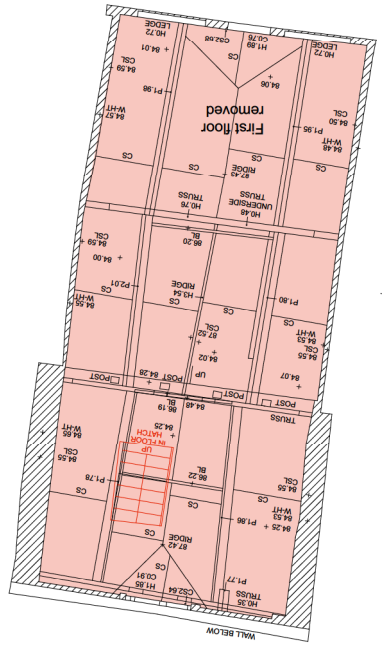
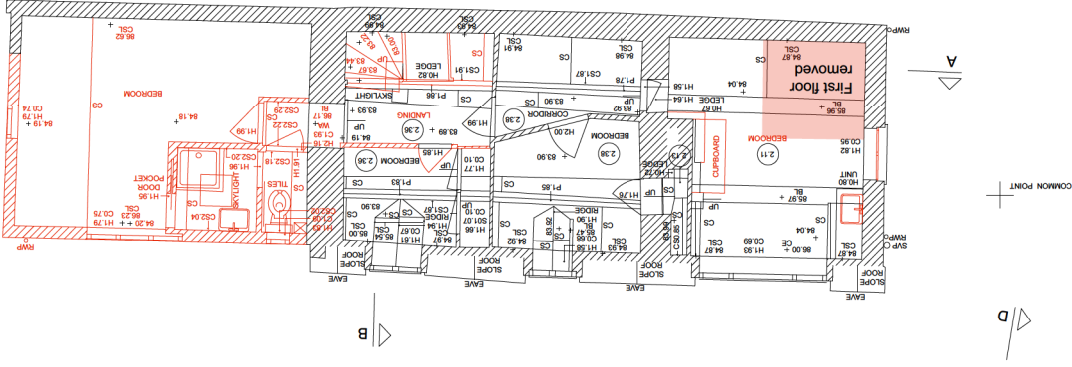
PL 16.07.2021, Plymouth, Devon, UK
 Revision

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Poplar Farm - Existing Ground floor - Proposed Demolition

NO.	DATE	BY	REVISION
01	16.07.2021	MM	ISSUE FOR PERMIT
02	16.07.2021	MM	ISSUE FOR PERMIT

1. New Road, Woodmancote, Devon, UK
 0161 7203 1818
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BPN ARCHITECTS

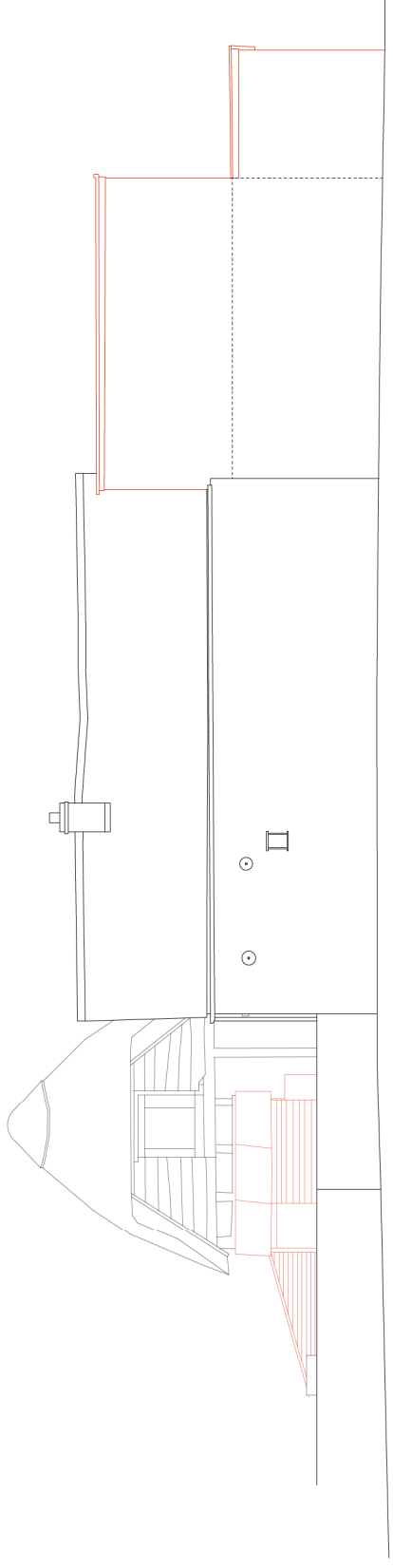
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PROJECT: 2409.0.23
 DATE: 15.07.2024
 DRAWING NO: 1.00

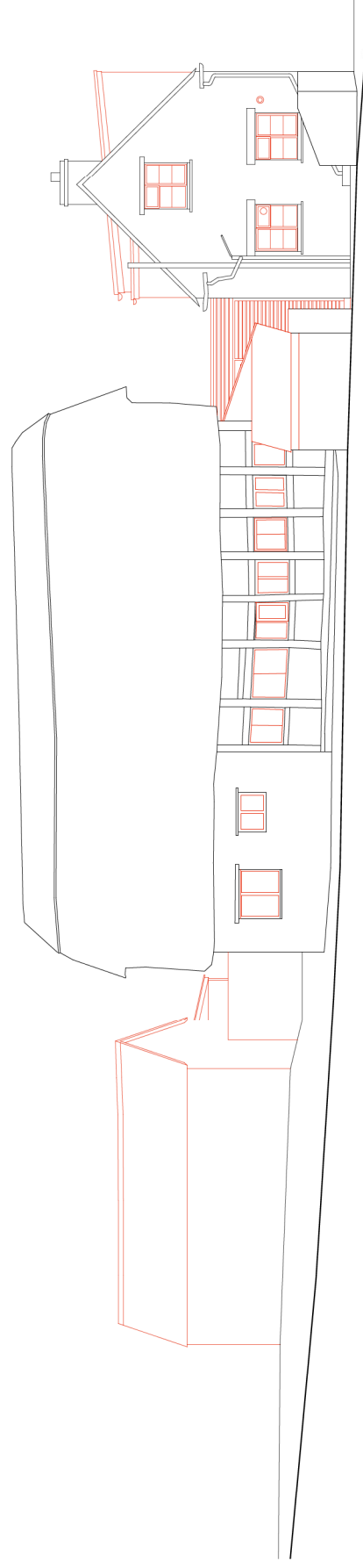
PROPOSED DEVELOPMENT: NEW ROAD, WOODMACCOTE
 Popular Farm - Existing First Floor - Proposed Demolition

CLIENT: BPN ARCHITECTS
 PROJECT: 2409.0.23
 DATE: 15.07.2024

1. New Road, Woodmaccote, VIC 3013
 03 9472 1911
 www.bpnarchitects.com.au



North Elevation - Demolition

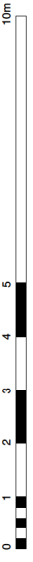


East Elevation (New Road) - Demolition

PL 16/07/2021, Planning Issue, RN
Revised

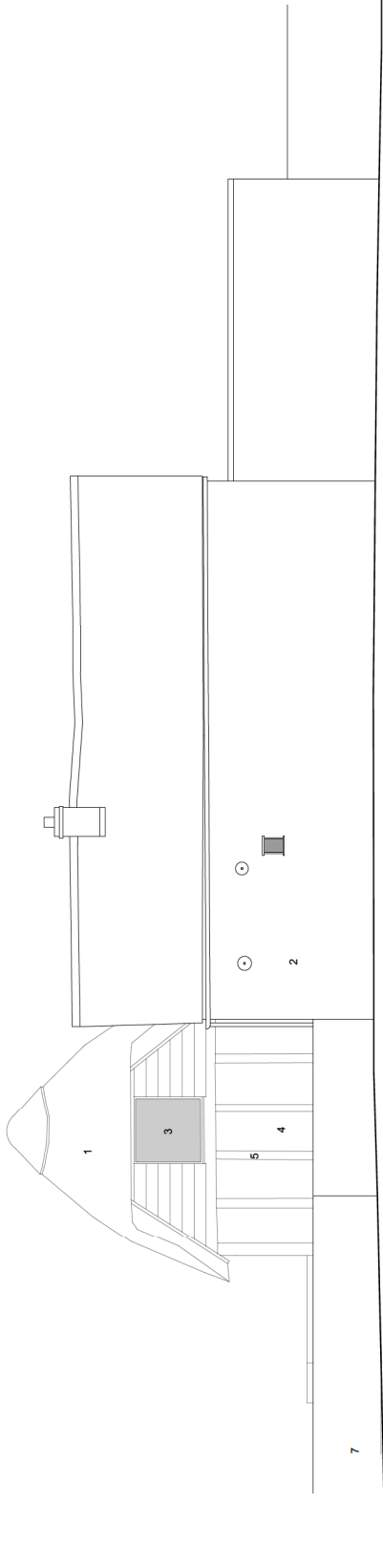
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Poplar Farm - Existing Elevations 1 - Proposed Demolition

DATE	REVISION	BY
20/09/21	P1	PLANNING
16/07/2021	1.00	PLANNING

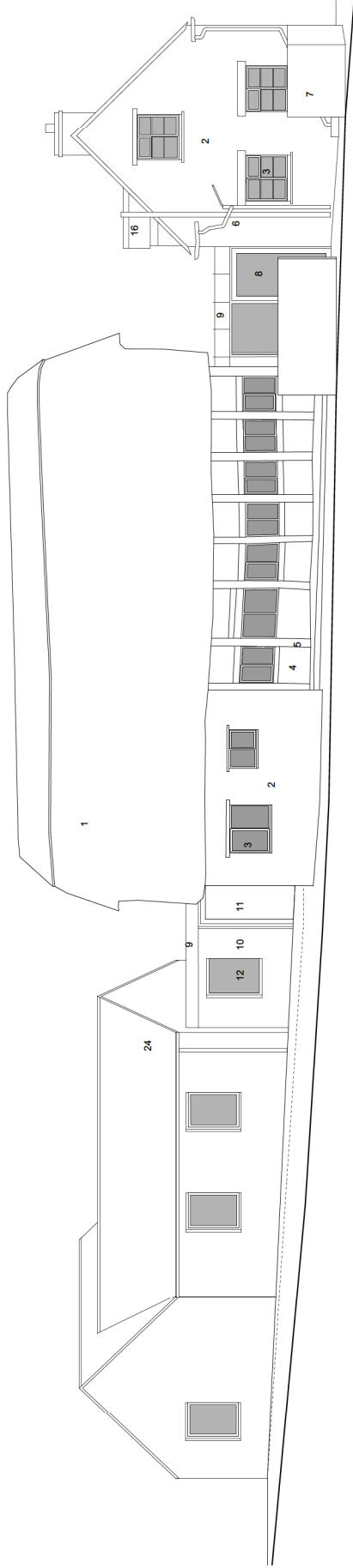


KEY

1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be retained incorporating slimline double glazed units (applies to all existing windows)
4. Brick splayed lintels redecorated
5. Timber frame redecorated
6. Existing timber goods redecorated or replaced to match if beyond repair - stone colour.
7. Existing delapidated stone wall rebuilt
8. Existing stone walling and screen in bronze colour
9. Spalling seam coat
10. New stone wall built using reclaimed stone from demolished garage
11. Painted timber coat
12. New stone wall with double glazed window
13. Stone coping
14. Dry stone wall using local stone
15. Existing downy partially retained with matching stone
16. Existing stone walling partially retained with matching stone
17. Existing rear wall partially retained and new timber pergola
18. Painted timber gate
19. Existing stone walling partially retained with matching stone
20. Zinc fascia to timber pergola
21. Local stone facade
22. Present stone lintels, reveals, mullions and cills
23. Existing stone walling partially retained with matching stone
24. Tiled roof in built to match existing Poplar Farm cottage
25. Traditional garage door
26. Existing stone walling partially retained with matching stone
27. Through coloured render
28. PPC creeks and flashings to dormer windows
29. PPC aluminium glazed door
30. PPC aluminium copings in matching colour to window frames



Proposed North Elevation



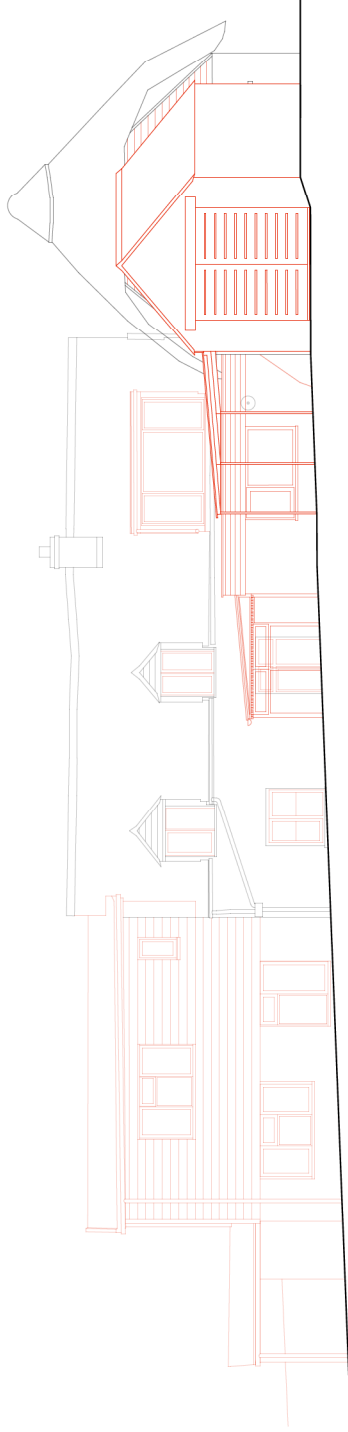
Proposed East Elevation (New Road)

PL 26.10.2021 - Lowered Eaves Level to Elmston, IN
 PL 26.10.2021 - Revised Planning Note, BR
 PL 16.07.2021 - Planning Note, IN
 REVISED

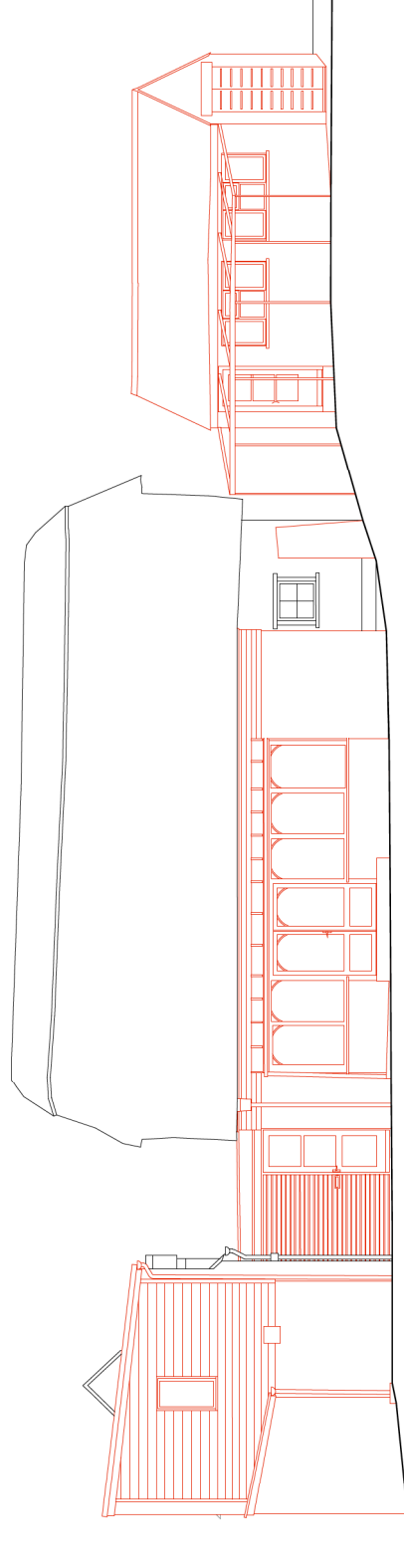
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Poplar Farm - Proposed Elevations 1

DATE	NO.	DESCRIPTION
2019.11.09	P3	PLANNING
2020.02.14	P4	PLANNING
2020.07.16	P5	PLANNING
2021.07.16	P6	PLANNING
2021.07.16	P7	PLANNING
2021.07.16	P8	PLANNING
2021.07.16	P9	PLANNING
2021.07.16	P10	PLANNING

0 1 2 3 4 5 10m



South Elevation - Demolition



West Elevation - Demolition

PL 16.07.2021, Planning Issue, RN
Revised

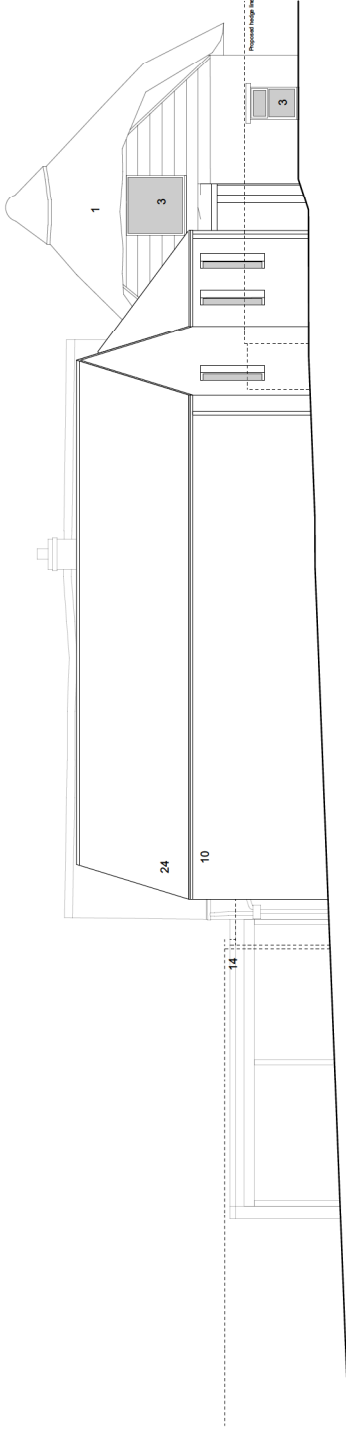
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Poplar Farm - Existing Elevations 2 - Proposed Demolition

DATE	REVISION	BY
2019.03.23	P1	PLANNING
2020.07.15	PLANNING	PLANNING
2021.07.15	PLANNING	PLANNING

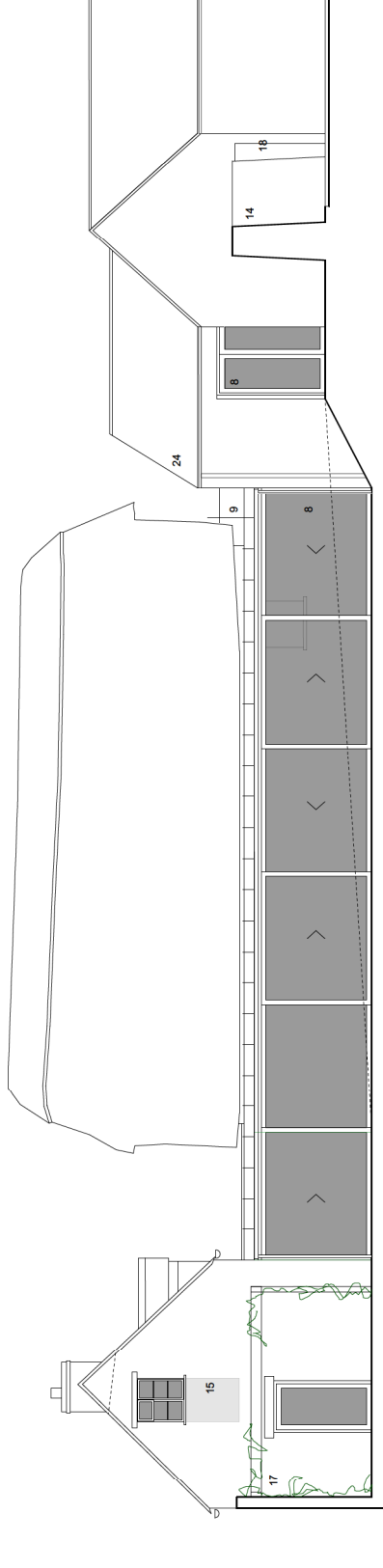


KEY

1. Existing hatch roof retained and made good locally as required.
2. Existing stone walling retained and repointed with lime mortar as required.
3. Existing windows carefully removed and replaced with new hardwood windows. Existing stone walling to be replaced with new hardwood glazed units (applies to all existing windows)
4. Brick splaydials redecorated
5. Timber frame redecorated
6. Existing stone walling to be replaced with new hardwood glazed units beyond repair - stone colour
7. Existing delapidated stone wall rebuilt
8. Existing stone walling to be replaced with new hardwood glazed units
9. Spalling seam coat
10. New stone wall built using reclaimed stone from demolished garage
11. Painted timber coat
12. Existing stone walling to be replaced with new hardwood glazed window
13. Stone coping
14. Dry stone wall using local stone
15. Existing downy partially retained and repointed with matching stone
16. Existing stone walling to be replaced with new hardwood glazed window
17. Existing rear wall partially retained and new timber pergola
18. Painted timber gate
19. Existing stone walling to be replaced with new hardwood glazed window
20. Zinc fascia to timber pergola
21. Local stone facade
22. Present stone lintels, reveals, mullions and cills
23. Existing stone walling to be replaced with new hardwood glazed window
24. Tiled roof in built to match existing Poplar Farm cottage
25. Traditional garage door
26. Existing stone walling to be replaced with new hardwood glazed window
27. Through coloured render
28. PPC creeks and flashings to dormer windows
29. PPC aluminium glazed door
30. PPC aluminium copings in matching colour to window frames



Proposed South Elevation

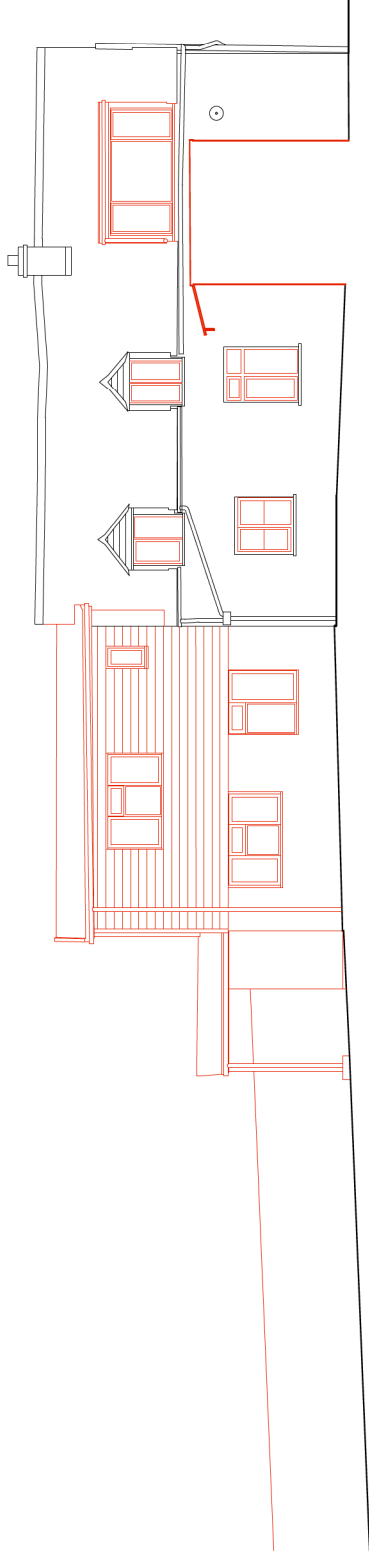


Proposed West Elevation

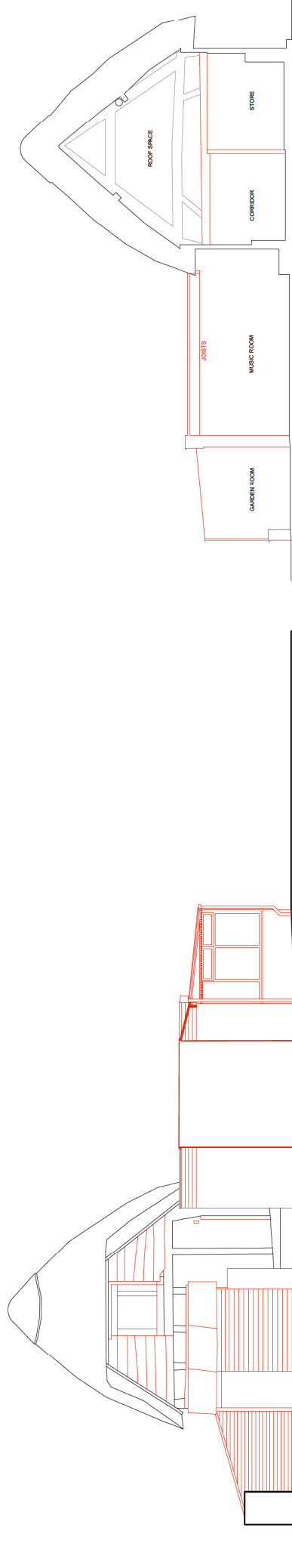
PL 26.10.2021, Lowered Eaves Level to Elevation, JN
 PL 26.10.2021, Revised Planning Issue, BR
 PL 16.07.2021, Planning Issue, JN
 Revision

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Poplar Farm - Proposed Elevation 2

DATE	ISSUE	BY
2019.11.09	PL	PLANNING
2021.07.16	PL	PLANNING
2021.07.16	PL	PLANNING
2021.07.16	PL	PLANNING



Demolition Section 1-1



Demolition - Section 2-2

Demolition - Section 3-3



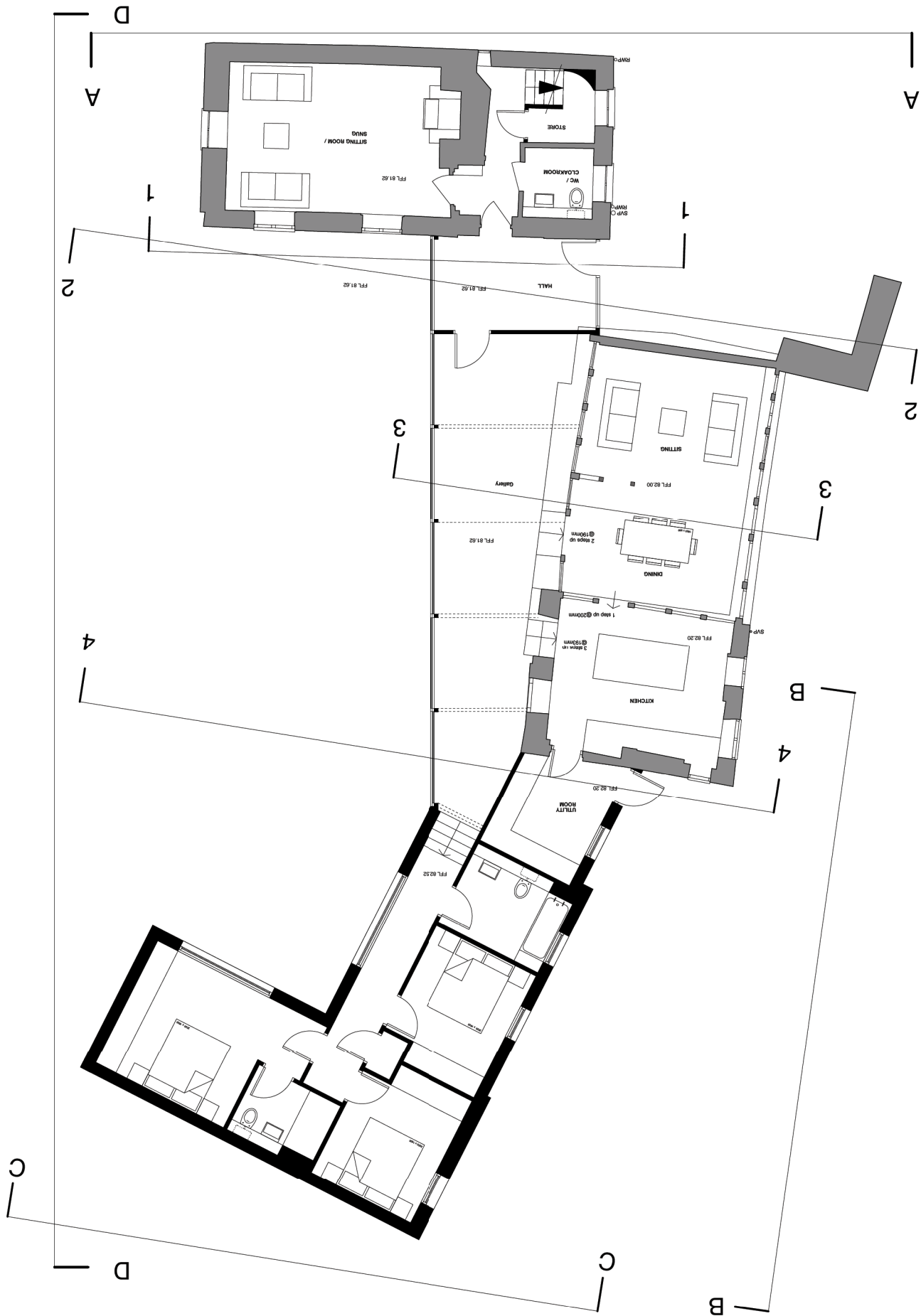
Demolition - Section 4-4

PI 16.07.2024 - Planning Issue - RN
Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Popular Farm - Existing Sections - Proposed Demolition

DATE	BY	REVISION
20/07/24	PI	PI 16.07.2024
16/07/2024	PI	PI 16.07.2024





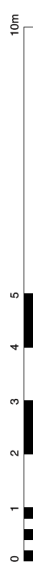
PP2_20.10.2021_Revolved Planning Issues_RN
PP1_18.07.2021_Planning Issues_RN
Revision:

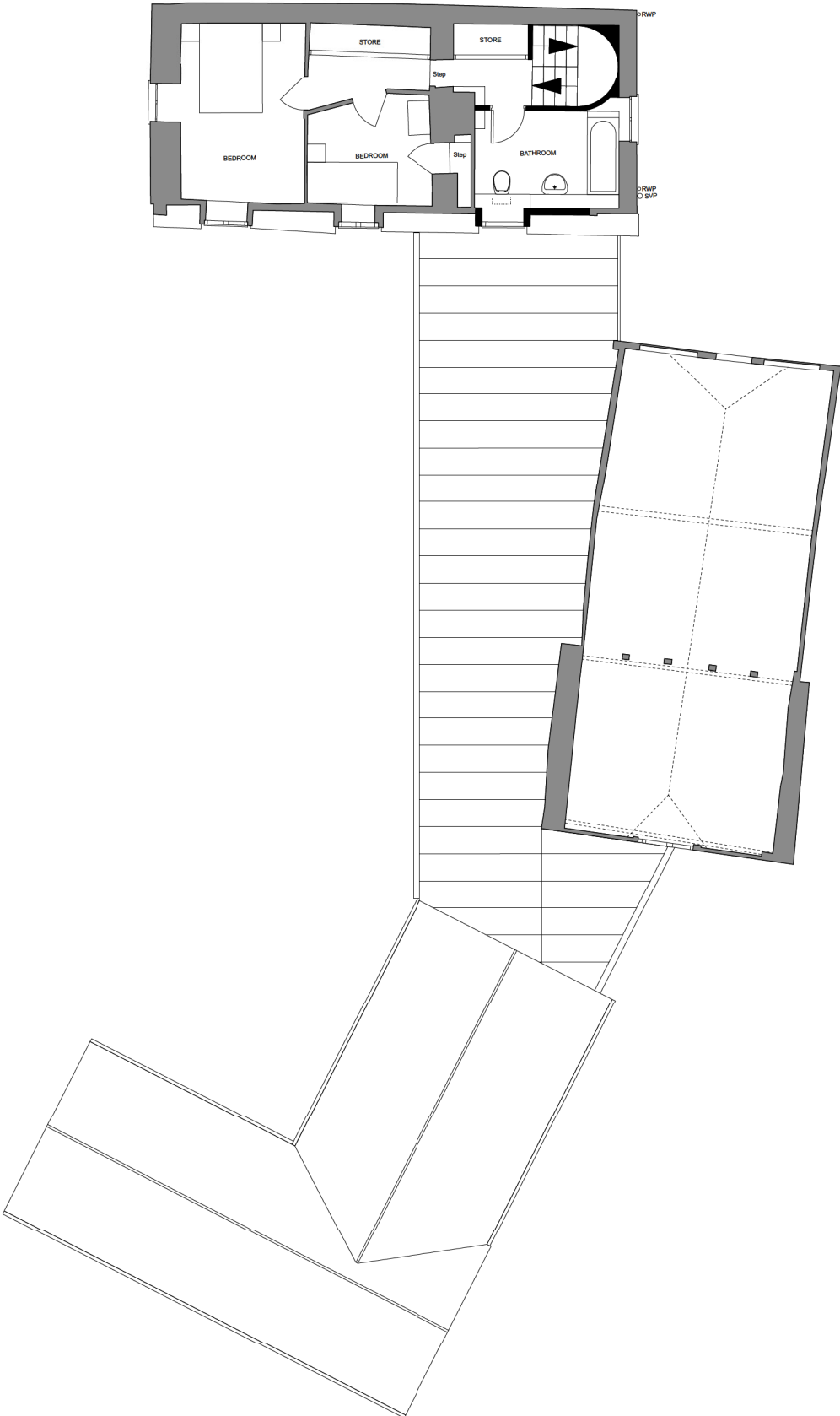
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Poplar Farm - Proposed Ground Floor

NO.	DATE	BY	CHKD.
01	18.07.2021	MM	MM
02	18.07.2021	MM	MM

1. New Road, Woodmancote, SN1 1LD
01753 501167
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BPN ARCHITECTS





PL 20 15 2021, Revised Planning Issue, BR
PL 15 07 2021, Planning Issue, BN
Revised

PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
Poplar Farm - Proposed First Floor

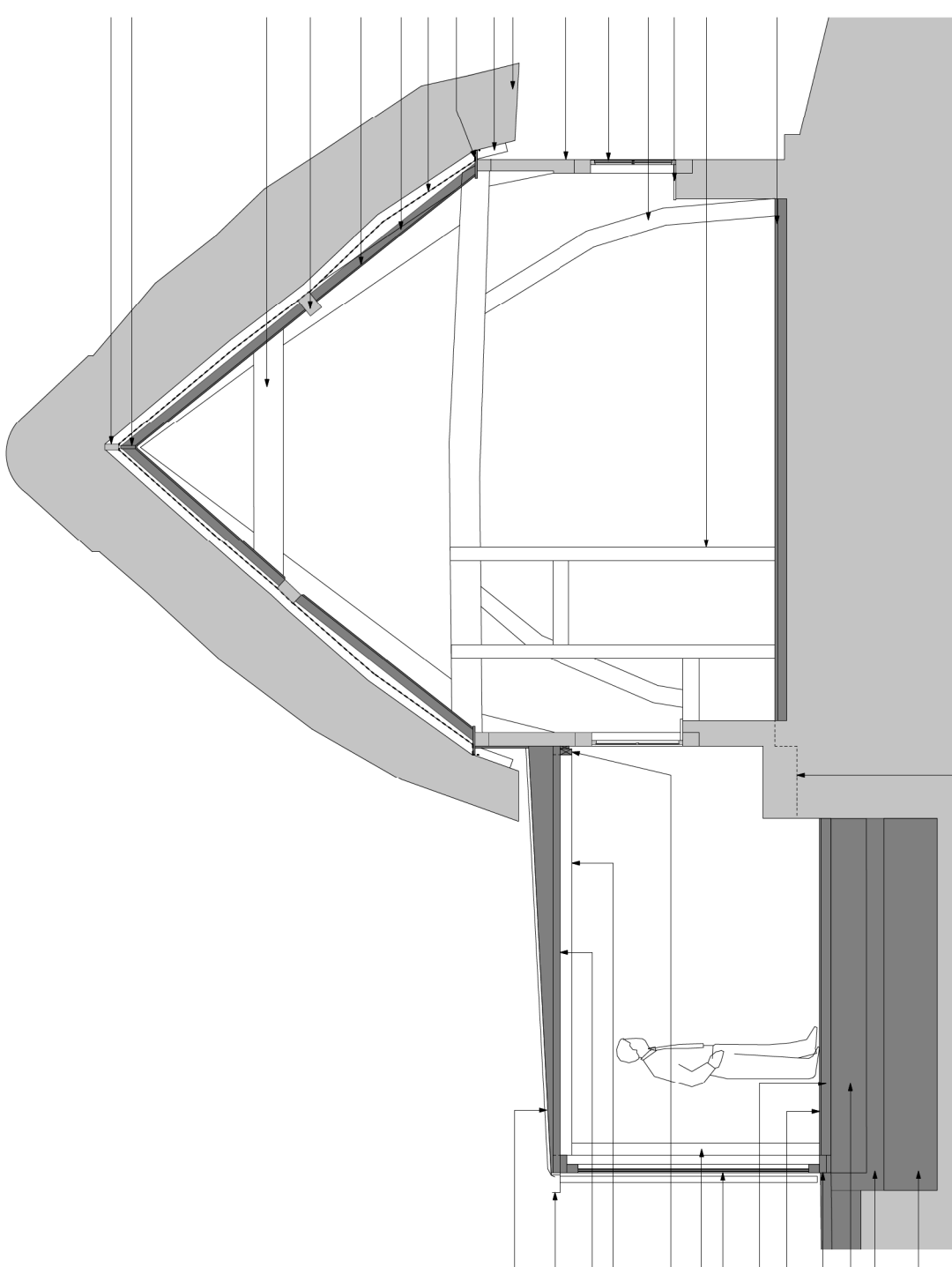
DATE	REVISION
20/01/21	PL
15/07/21	BN
15/07/21	BN



BPN ARCHITECTS

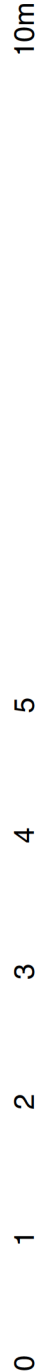
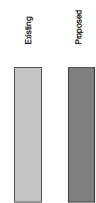
1, New Road, Woodmancote, BR
0181 723 1818
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- Standing seam zinc roof laid at min. 3 degrees pitch onto rigid insulation. Zinc to be dressed up the face of the existing beam wall under the eaves at all times.
- Rectangular section PPC gutter, 150mm x 75.
- 70mm CLT roof decking fixed between beams.
- 150 x 100 oak beam supporting new flat roof.
- 100 x 50 oak borer with 25mm shallow gap spacer screw fixed into every existing stud to support end of flat roof beams. Led lighting strip recessed into shallow gap.
- 100 x 100 oak post supporting the flat roof.
- PPC slimline aluminium double glazed sliding screen in dark bronze colour satin finish.
- 75mm sand cement screed incorporating underfloor heating.
- 25mm limestone floor tiles.
- Door sill / track section set 50mm into floor to allow level access fixed onto rigid thermal break to prevent cold bridge.
- 300mm concrete slab to SE details.
- 150mm rigid insulation.
- Well compacted hardcore to SE details.

Dashed lines indicate profile of existing stepped entrance beyond section cut line



Existing ridge member
 Proposed ridge board to tie new rafters heads

Existing rafters to be retained with metal clad finish. Minor repairs as required.
 Existing purlins to be retained with metal clad finish.

12mm plasterboard with vapour control backing layer fixed to rafters. Soin and paint finish
 75 x 50 Independent rafters @ 600 centres fixed to ply wall plate and existing purlin. 75mm rigid Rockwool insulation fixed between rafters
 Dashed line indicates Tyvek or similar breathable membrane stapled to existing rafters to provide a waterproof layer
 18mm WBP ply sheet screw fixed to top of existing wall plate. Ply to be notched around existing rafters to close off the eaves and prevent birds from accessing the void.

Existing 'sick' rafters retained and tied back as required.
 Existing attached roof retained and made good as required

Repairs to facade as required to match existing and redecorate

Existing window modified to accommodate new slimline double glazing (1st 12mm rigid outer pane, 4mm cavity with wind spacer, 4mm low E glass, with 25mm gap)
 Historic timber frame elements exposed and made good.
 New 18mm oak window boards

Existing historic timber studs retained

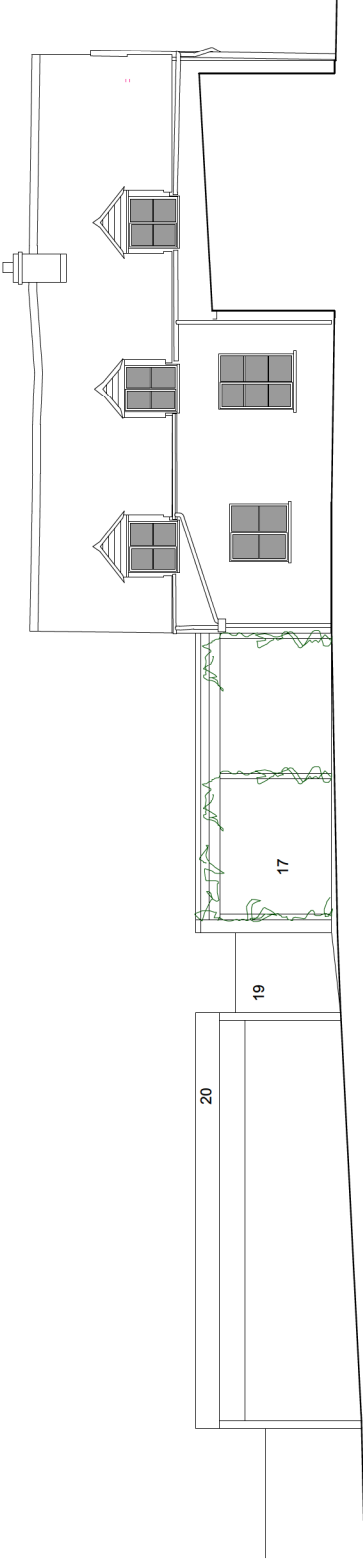
New flooring comprising 25mm limestone tiles laid onto min 75mm sand cement screed incorporating underfloor heating

PL 16.07.2021, Planning Issue, BN
 Reviews

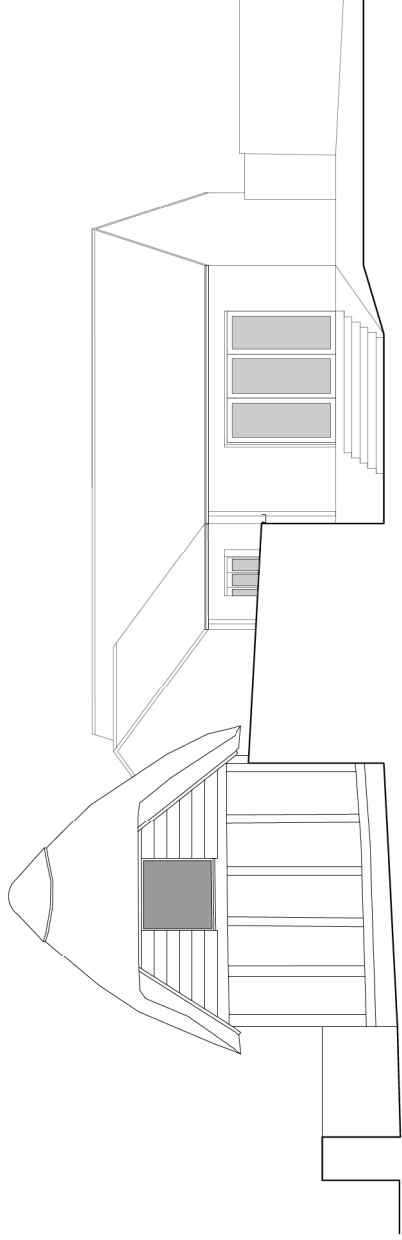
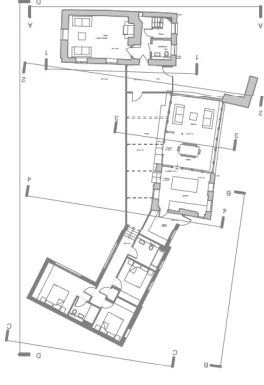
PROPOSED DEVELOPMENT, NEW ROAD, WOODMARCOTE
 Poplar Farm Detailed Cross Section

DATE	BY	REVISION
2019.1.7	PI	PLANNING
2019.12.12	PI	PLANNING
2020.9.11	PI	PLANNING
2021.07.20	PI	PLANNING

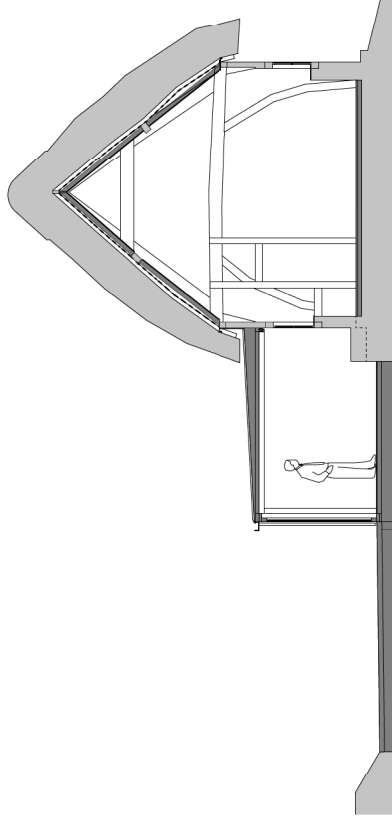




Proposed Section 1-1



Proposed Section 2-2



Proposed Section 3-3

KEY

1. Existing hatch roof retained and made good locally as required.
2. Existing roof structure retained and made good locally as required.
3. Existing windows carefully removed and replaced with new hardwood windows of a matching pattern and profile but incorporating slimline double glazed units (applies to all existing windows)
4. Timber frame redecorated
5. Timber frame redecorated
6. Existing pipework & rainwater goods redecorated or replaced to match if appropriate
7. Existing plasterwork on walls retained
8. Existing plasterwork on walls retained
9. Standing seam zinc roof
10. Standing seam zinc roof using reclaimed stone from demolished garage
11. Painted timber door
12. PPC aluminium double glazed window
13. Stone coping using local stone
14. Existing downpipe to match existing
15. Existing downpipe to match existing
16. New dormer window to match existing
17. Existing dormer window to match existing
18. Painted timber gate
19. Close boarded fence
20. Zinc fascia to timber pergola
21. Dressing stone lintels, reveals, mullions and cills
22. Dressing stone lintels, reveals, mullions and cills
23. PPC aluminium rainwater goods
24. New dormer window to match existing Poplar Farm cottage
25. Timber door to match existing Poplar Farm cottage
26. PPC fascia
27. Through coloured render to domes windows
28. Through coloured render to domes windows
29. PPC aluminium glazed door
30. PPC aluminium copings in matching colour to window frames

PP_36_18_2021_Lowered Eaves Level to Elmston, RN
 PP_36_18_2021_Revoked Planning Issues, RN
 P1_18_07_2021_Maturing Issues, RN
 Revoked/01

PROPOSED DEVELOPMENT, NEW ROAD, WOODMANCEOTE
 Poplar Farm - Proposed Sections

DATE	NO.	DESCRIPTION
20/01/2021	01	ISSUED FOR PERMITTING
18/07/2021	02	REVISED



New Road Streetscene



Streetscene facing South



Streetscene facing West

PL_24_12.2023_Concept revisions_JN
 PD_26_05.2024_Lowered Eaves Level to Extension_JN
 PD_26_05.2024_Revised Planning Issues_RR
 PL_18_07.2023_Planning Issues_JN
 Revisions

PROPOSED DEVELOPMENT, NEW ROAD, WOODMANCEOTE
 Streetscene Elevations

DATE	REVISION	BY
2023.12.08	PL	PLANNING
2024.05.26	PD	PLANNING
2024.07.18	PL	PLANNING
2024.07.18	PD	PLANNING